GENERAL NOTES:

- PHASE 1 PRELIMINARY DESIGN BASED ON SURVEY, HISTORIC DRAWINGS, AERIAL IMAGERY, SITE INVESTIGATIONS, KPFF STRUCTURAL REPORT, AND HYDROLOGIC MODELS.

- THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION.

- ALL DIMENSIONS AND DESIGN ELEMENTS TO BE FIELD VERIFIED.

- KPFF STRUCTURAL COMMENT: YARD AREA – FILL BEHIND PIPECHASE SHOULD BE CONSIDERED FOR SEISMIC STABILIZATION. CONCERNS RELATE TO LATERAL LOADING ON PIPECHASE DURING A SEISMIC EVENT AND POTENTIAL SETTLING/LIQUIFICATION OF FILL MATERIALS.

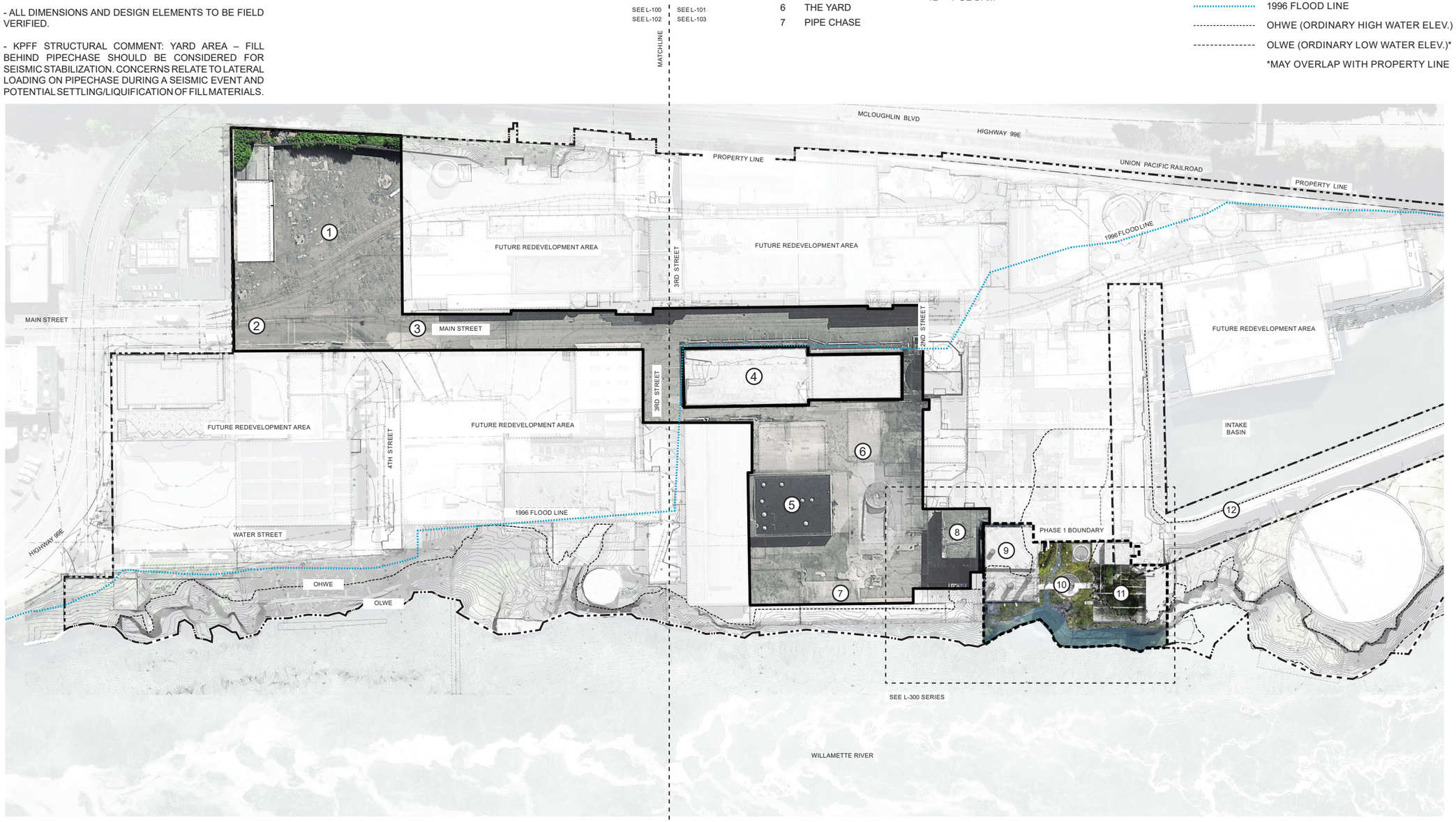
PROGRAM LEGEND

1	INTERIM PARKING AREA	8	RECOVERY BOILER
2	PROJECT ENTRY	9	BOILER PLANT
3	MAIN STREET ENTRANCE	10	HIGH DENSITY STOCK CYLINDER
4	WOOLEN MILL	11	MILL H
5	CARPENTRY SHOP	12	PGE DAM
6	THE YARD		
7	PIPE CHASE		

SYMBOL LEGEND

- PROPERTY LINE
- PHASE 1 BOUNDARY
- INTERIM ACCESS AREA
- 1996 FLOOD LINE
- OHWE (ORDINARY HIGH WATER ELEV.)
- OLWE (ORDINARY LOW WATER ELEV.)*

*MAY OVERLAP WITH PROPERTY LINE



1 SITE PLAN

SCALE: 1" = 60' - 0"

00' 100' 200'

Snøhetta

ISSUED FOR

1	PHASE I DRAWING SET	6/29/2018

NOT FOR CONSTRUCTION

IMPERIAL

ALL DIMENSIONS ARE IN FEET UNLESS OTHERWISE NOTED.
VERIFY DIMENSIONS.
DO NOT SCALE THIS DRAWING.

REPORT INCONSISTENCIES AND OMISSIONS TO THE CONSULTANT FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.

DEVIATIONS FROM THE CONTRACT DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE CONSULTANT ARE SUBJECT TO CORRECTION AT THE CONTRACTOR'S EXPENSE.

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ENVIRONMENTAL ENGINEERING
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SEAL

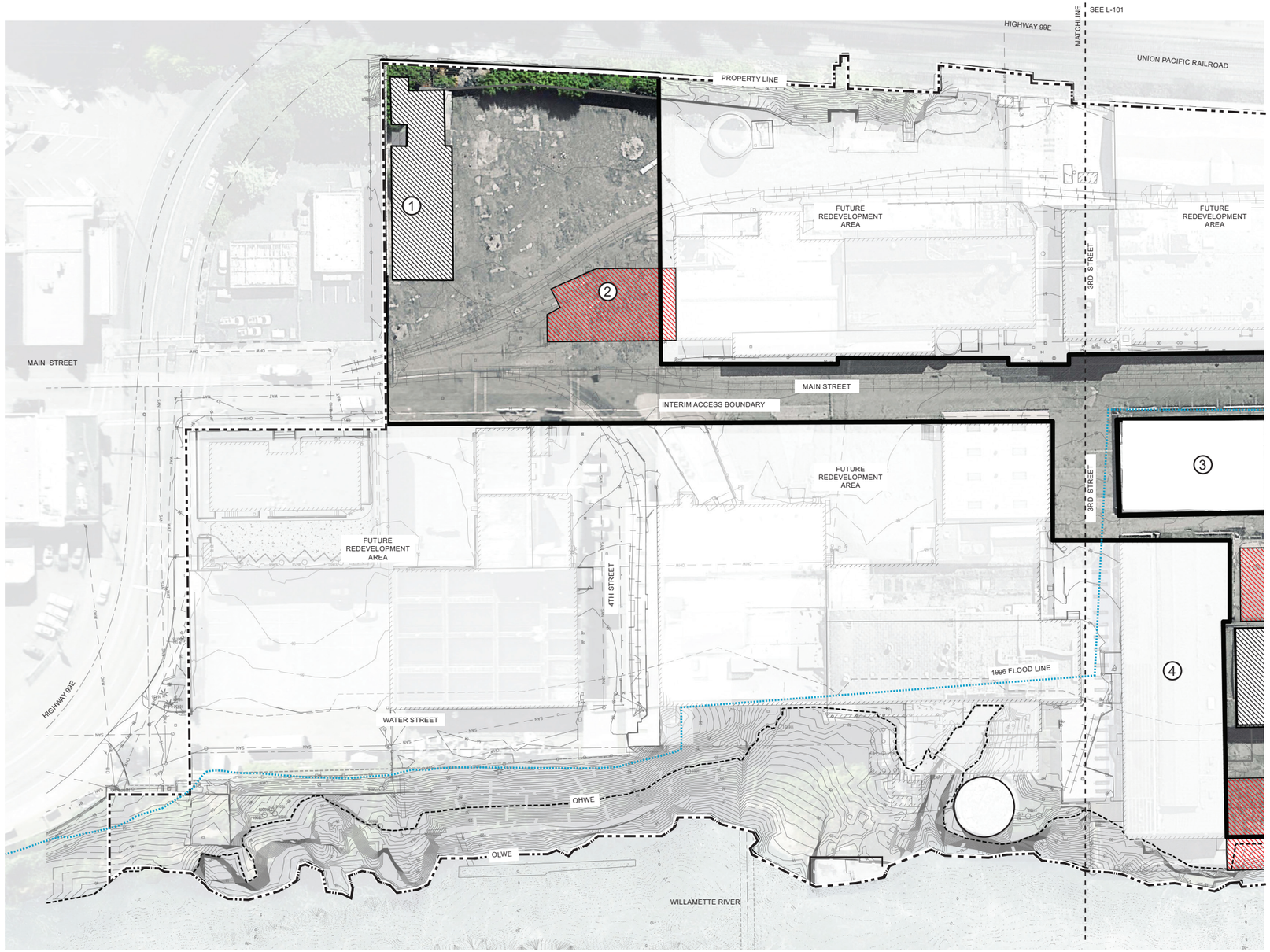
Willamette Falls
RIVERWALK PROJECT

PHASE 1
SITE PLAN

DRAWN: EG
PLOT DATE: 6/29/2018
CHECKED: MM

L- 001

DRAWING NO:



SYMBOL LEGEND

- PROPERTY LINE
- INTERIM ACCESS AREA
- 1996 FLOOD LINE
- STRUCTURES TO BE REMOVED
- TRUCTURES FOR REUSE
- OHWE (ORDINARY HIGH WATER ELEV.)
- OLWE (ORDINARY LOW WATER ELEV.)*

*MAY OVERLAP WITH PROPERTY LINE

PROGRAM LEGEND

1 TRUCK DUMP (RETAINED)
2 DE-INK
3 WOOLEN MILL FOUNDATION
4 MILL O

GENERAL NOTES:

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- ALL DIMENSIONS AND DESIGN ELEMENTS TO BE FIELD VERIFIED.

- ALL LOOSE DEBRIS AND HAZARDOUS MATERIAL TO BE REMOVED IN INTERIM AREA.

1 REMOVALS 1
SCALE: 1" = 40' - 0"

00' 40' 80'

Snøhetta

ISSUED FOR

1	PHASE I DRAWING SET	6/29/2018

NOT FOR CONSTRUCTION

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SEAL

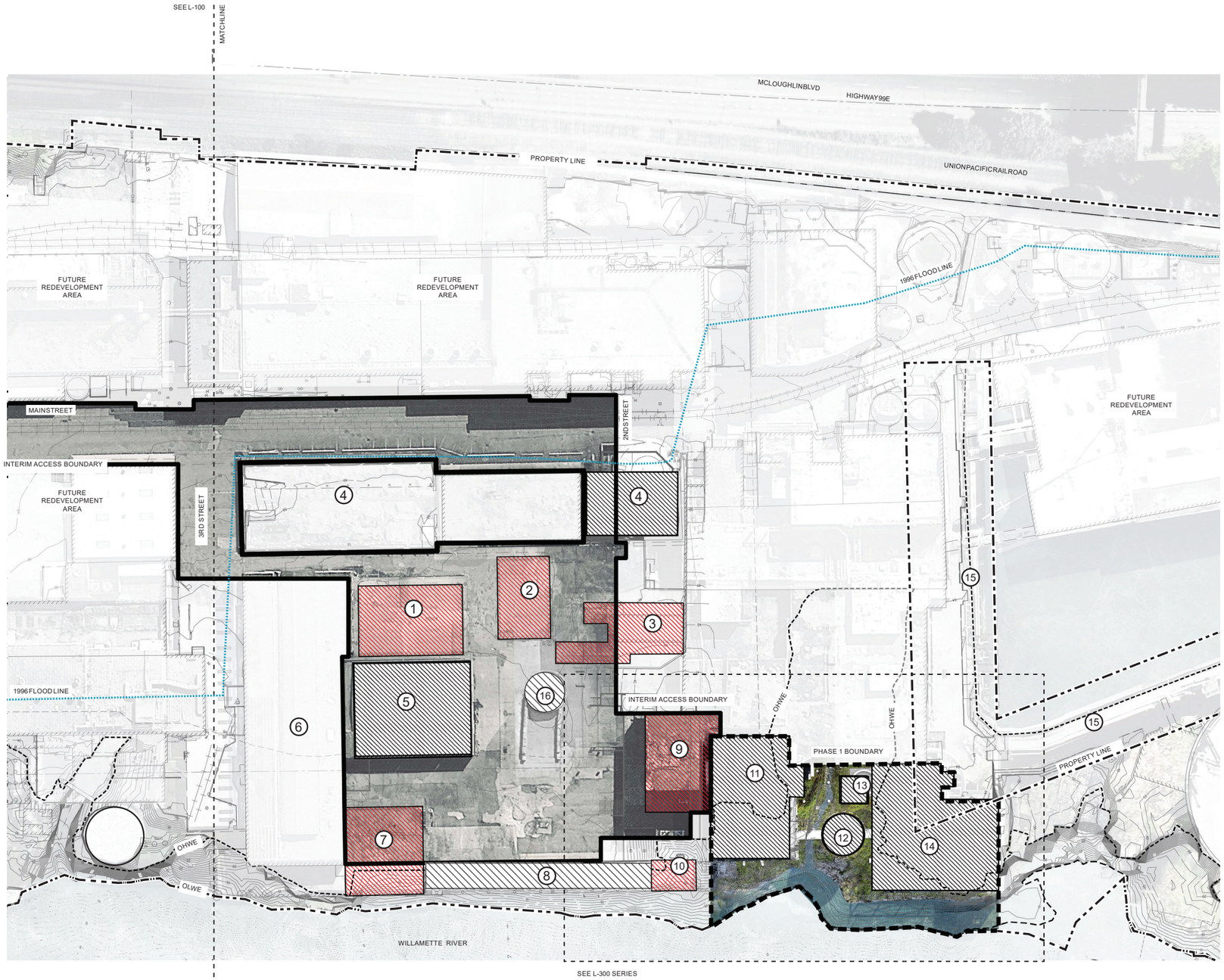
Willamette Falls
RIVERWALK PROJECT

PHASE 1
REMOVALS PLAN 1

DRAWN: EH CHECKED: MM
PLOT DATE: XX/XX/2018

L- 100

DRAWING NO:



SYMBOL LEGEND

- PROPERTY LINE
- PHASE 1 BOUNDARY
- INTERIM ACCESS AREA
- 1996 FLOOD LINE
- STRUCTURES TO BE REMOVED
- STRUCTURES FOR REUSE
- OHWE (ORDINARY HIGH WATER ELEV.)
- OLWE (ORDINARY LOW WATER ELEV.)*

*MAY OVERLAP WITH PROPERTY LINE

PROGRAM LEGEND

1 MILLWRIGHT SHOP
2 AUTOSHOP
3 SOUTH SUBSTATION
4 WOOLEN MILL FOUNDATION
5 CARPENTRY SHOP
6 MILL O
7 PIPE SHOP
8 PIPE CHASE
9 RECOVERY BOILER (REMOVE CLADDING)
10 PUMP STATION (REMOVE STEEL FRAME DOWN TO PIPE CHASE)
11 BOILER PLANT
12 HIGH DENSITY STOCK CYLINDER (REMOVE SHED ONLY)
13 BRIGHTENING TOWER
14 MILL H
15 PGE DAM
16 REMNANT CYLIDER

GENERAL NOTES:

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- INTERIM ACCESS LINE DOES NOT INDICATE A LIMIT OF WORK AREA. REFER TO DRAWING FOR BUILDINGS OUTSIDE OF INTERIM ACCESS LINE THAT WILL BE PRESERVED OR REMOVED.

- ALL LOOSE DEBRIS AND HAZARDOUS MATERIAL TO BE REMOVED IN INTERIM AREA.

- KPFF STRUCTURAL COMMENT: YARD AREA – FILL BEHIND PIPECHASE SHOULD BE CONSIDERED FOR SEISMIC STABILIZATION. CONCERNS RELATE TO LATERAL LOADING ON PIPECHASE DURING A SEISMIC EVENT AND POTENTIAL SETTLING/LIQUIFICATION OF FILL MATERIALS.

2 REMOVALS 2
SCALE: 1" = 40' - 0"

00' 40' 80'

Snøhetta

ISSUED FOR

1 PHASE I DRAWING SET 6/29/2018

NOT FOR CONSTRUCTION

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SEAL

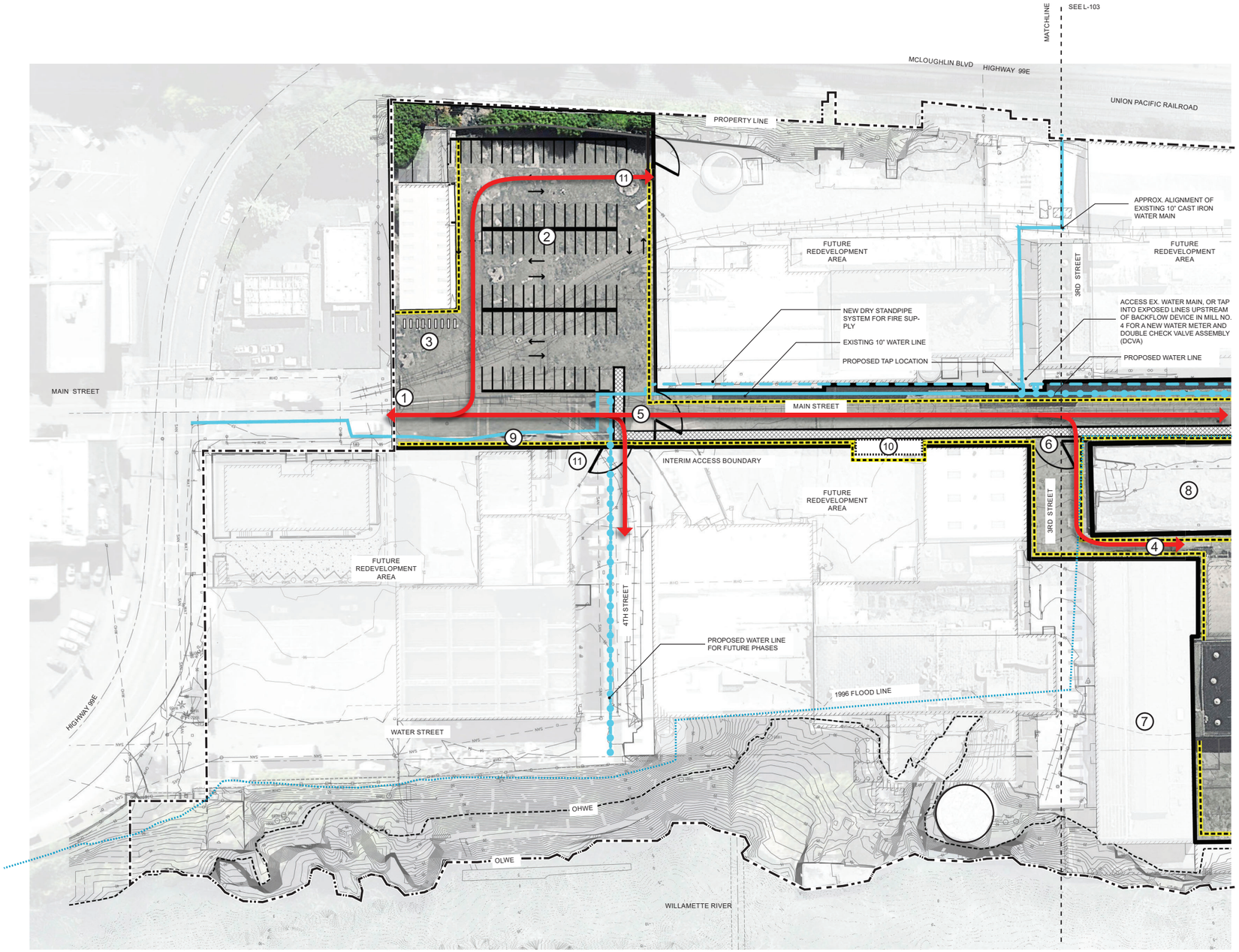
Willamette Falls
RIVERWALK PROJECT

PHASE 1
REMOVALS PLAN 2

DRAWN: EG CHECKED: MM
PLOT DATE: 6/29/2018

L- 101

DRAWING NO:



SYMBOL LEGEND

- PROPERTY LINE
- INTERIM ACCESS AREA
- 1996 FLOOD LINE
- INTERIM ACCESS FENCE
- EMERGENCY VEHICULAR ACCESS
- EXISTING WATER LINE
- PROPOSED WATER LINE
- NEW DRY STANDPIPE
- ADA ACCESS PATH
- EXISTING ENCLOSED BUILDING
- TEMPORARY RESTROOM
- BICYCLE PARKING
- OHWE (ORDINARY HIGH WATER ELEV.)
- OLWE (ORDINARY LOW WATER ELEV.)*

*MAY OVERLAP WITH PROPERTY LINE

PROGRAM LEGEND

1 SITE ENTRANCE
2 INTERIM PARKING LOT
3 BICYCLE PARKING
4 ACCESS PATH
5 MAIN STREET GATE
6 3RD STREET GATE
7 MILL O
8 WOOLEN MILL FOUNDATION
9 EXISTING HYDRANT (PROTECT)
10 TEMPORARY RESTROOM
11 EMERGENCY, SERVICE, SECURITY, ACCESS GATE

GENERAL NOTES:

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-KPFF CIVIL- EXISTING WATER MAINS THAT ARE CURRENTLY ABANDONED SOUTH OF THE DOUBLE CHECK IN MILL H ARE NOT IN AN ACCEPTABLE CONDITION FOR REUSE.

-KPFF CIVIL- REUSE OF EXISTING IMPERVIOUS AREAS OR BUILDING PADS AFTER DEMOLITION OF STRUCTURES WILL NOT TRIGGER STORMWATER REQUIREMENTS. HOWEVER, TARGET WATER QUALITY TREATEMENT, OR AT A MINUMUM IMPLEMENT MEASURES TO CAPTURE SEDIMENT AND DEBRIS PRIOR TO DISCHARGE TAILRACE ARE RECOMMENDED.

-TEMPORARY RESTROOM (TRAILER) POTENTIAL FOR CONNECTION TO SEWER. TO BE DETERMINED BY DESIGN-BUILD TEAM.

1 INTERIM ACCESS 1

SCALE: 1" = 40' - 0"

00' 40' 80'

Snøhetta

ISSUED FOR

1 PHASE I DRAWING SET 6/29/2018

NOT FOR CONSTRUCTION

CLIENT:

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SEAL

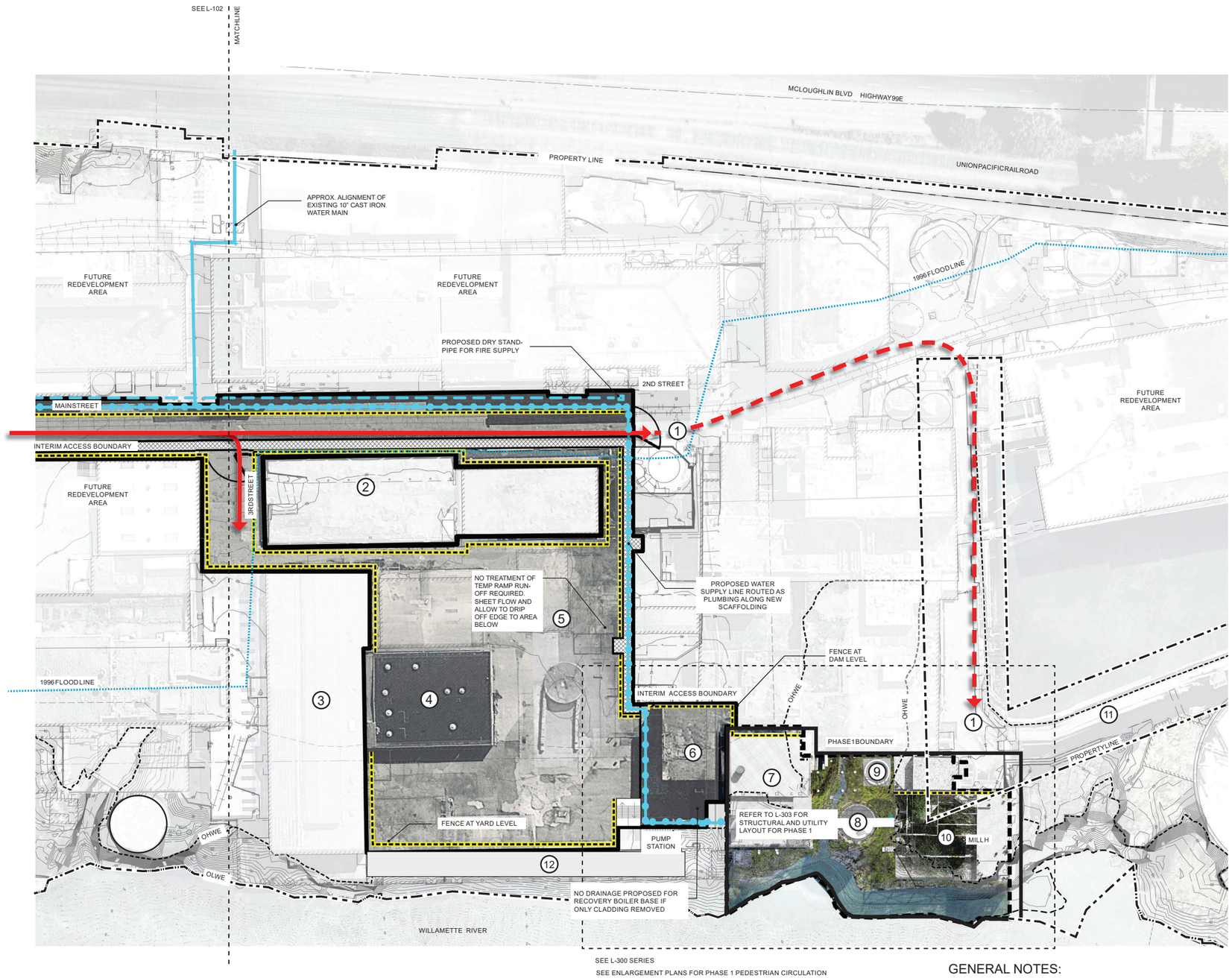
Willamette Falls
RIVERWALK PROJECT

PHASE 1
INTERIM ACCESS
PLAN 1

DRAWN: EH CHECKED: MM
PLOT DATE: XX/XX/2018

L- 102

DRAWING NO:



SEE L-300 SERIES

SEE ENLARGEMENT PLANS FOR PHASE 1 PEDESTRIAN CIRCULATION

2 INTERIM ACCESS 2

SCALE: 1" = 40' - 0"

SYMBOL LEGEND

- PROPERTY LINE
- PHASE 1 BOUNDARY
- INTERIM ACCESS AREA
- 1996 FLOOD LINE
- INTERIM ACCESS FENCE
- EMERGENCY VEHICULAR ACCESS
- EXISTING WATER LINE
- PROPOSED WATER LINE
- NEW DRY STANDPIPE
- ADA ACCESS PATH
- EXISTING ENCLOSED BUILDING
- OHWE (ORDINARY HIGH WATER ELEV.)
- OLWE (ORDINARY LOW WATER ELEV.)*

*MAY OVERLAP WITH PROPERTY LINE

PROGRAM LEGEND

1 EMERGENCY AND SERVICE ACCESS
2 WOOLEN MILL FOUNDATION
3 MILL 0
4 CARPENTRY SHOP (REUSED)
5 REUSED EXISTING YARD SURFACE
6 RECOVERY BOILER BASE
7 BOILER PLANT
8 HIGH DENSITY STOCK CYLINDER
9 BRIGHTENING TOWER
10 MILL H
11 PGE DAM
12 PIPE CHASE

NOTES:

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- KPFF STRUCTURAL COMMENT: STOCK CYLINDER #2 – THE PROPOSED OPENINGS AND EXPLORER TRAIL STRUCTURES ASSOCIATED WITH STOCK CYLINDER #2 ARE FEASIBLE. FUTURE WORK TO REFINE STRUCTURAL ANALYSIS OF OPENINGS, LOADS, AND CONNECTIONS BETWEEN EXISTING AND PROPOSED STRUCTURES TO DETERMINE NECESSARY UPGRADES.

- KPFF STRUCTURAL COMMENT: MILL H GROVE STRUCTURE – WITH STEEL PLATE REINFORCEMENTS AND SELECTIVE REPLACEMENT OF EXISTING STEEL COLUMNS AND BEAMS, THE MILL H GROVE STRUCTURE MAY SUPPORT THE PROPOSED EXPLORER TRAIL TO THE MID-LEVEL OVERLOOK. IN ADDITION, REINFORCEMENTS TO THE STEEL MEMBERS OF THE ROOF STRUCTURE MAY ALLOW THE EXPLORER TRAIL TO BE SUSPENDED.

-KPFF CIVIL- EXISTING WATER MAINS THAT ARE CURRENTLY ABANDONED SOUTH OF THE DOUBLE CHECK IN MILL H ARE NOT IN AN ACCEPTABLE CONDITION FOR REUSE.

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00' 40' 80'

GENERAL NOTES:

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Snøhetta

ISSUED FOR

1 PHASE I DRAWING SET 6/29/2018

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Metro

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SEAL

Willamette Falls RIVERWALK PROJECT

PHASE 1
INTERIM ACCESS
PLAN 2

DRAWN: EG CHECKED: MM
PLOT DATE: 6/29/2018

L- 103

DRAWING NO:

1 EXISTING ELEVATION AND REMOVALS

SCALE: 1/16" = 1'-0"

00' 16' 32'

SYMBOL LEGEND

FULL REMOVAL

PARTIAL REMOVAL AND RE-USE

PROGRAM LEGEND

1 THE YARD
2 PIPE CHASE
3 PUMP STATION
4 RECOVERY BOILER
5 BOILER PLANT
6 HIGH DENSITY STOCK CYLINDER SHED
7 HIGH DENSITY STOCK CYLINDER
8 MILL H
9 MILL H REJECT
10 MILL H TOWER

GENERAL NOTES:

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Snøhetta

ISSUED FOR

1	PHASE I DRAWING SET	6/29/2018

NOT FOR CONSTRUCTION

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SEAL

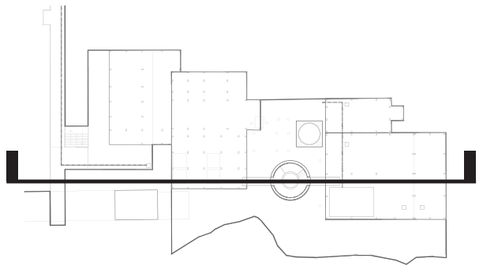
Willamette Falls
RIVERWALK PROJECT

PHASE 1 EXISTING AND RE-MOVALS ELEVATION

DRAWN: EG CHECKED: MM
PLOT DATE: 6/29/2018

L- 200

DRAWING NO:



KEY PLAN

GENERAL NOTES:

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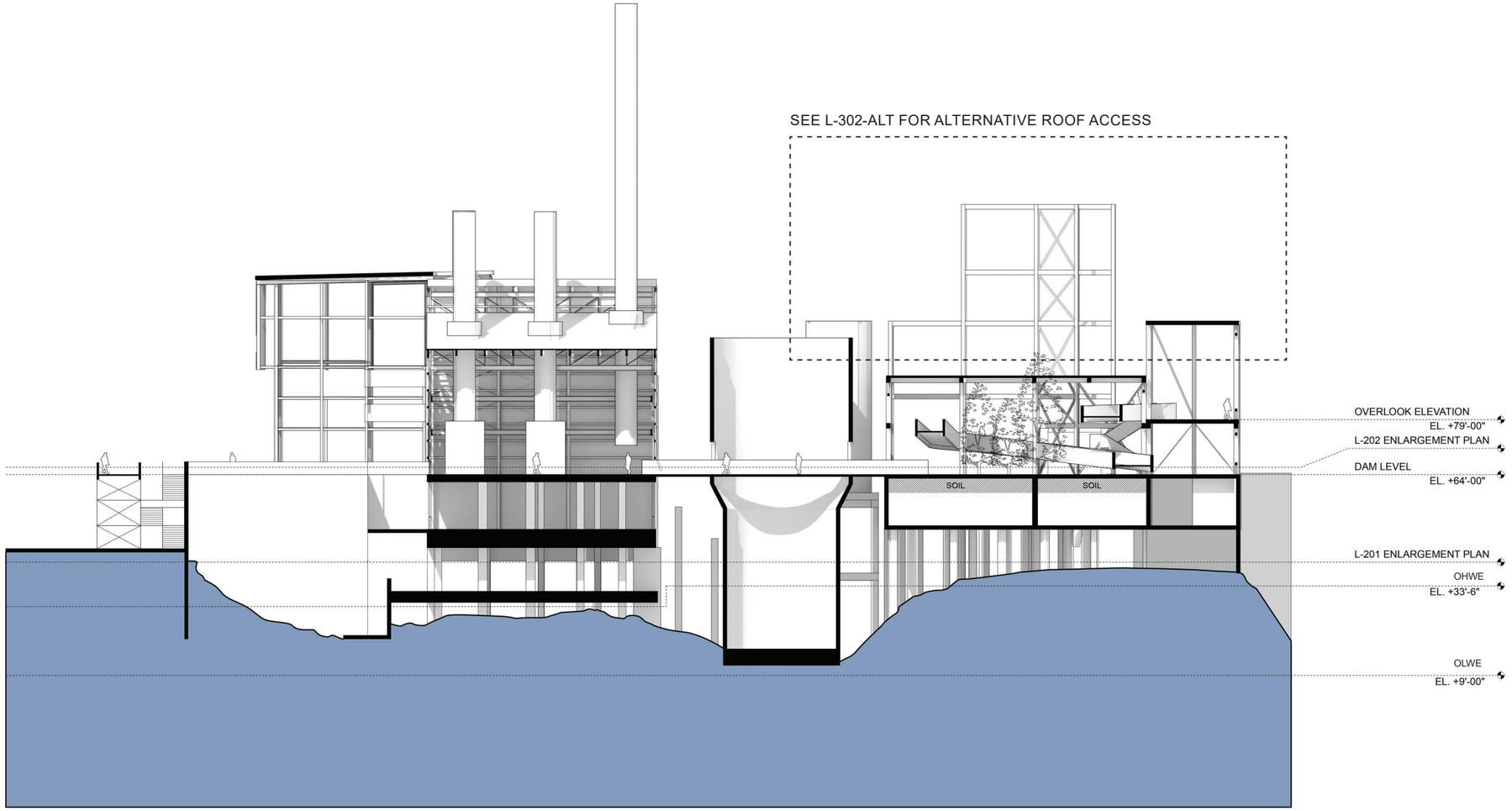
- ALL DIMENSIONS AND DESIGN ELEMENTS TO BE FIELD VERIFIED.

- SUBGRADE PLANTING CONDITION IN MILL H TO BE RESOLVED BY DESIGN-BUILD TEAM.

- KPFF STRUCTURAL COMMENT: YARD AREA – FILL BEHIND PIPECHASE SHOULD BE CONSIDERED FOR SEISMIC STABILIZATION. CONCERNS RELATE TO LATERAL LOADING ON PIPECHASE DURING A SEISMIC EVENT AND POTENTIAL SETTLING/LIQUIFICATION OF FILL MATERIALS.

SEE L-302-ALT FOR ALTERNATIVE ROOF ACCESS



1 PHASE I LONGITUDINAL SECTION LOOKING EAST

SCALE: 1/16" = 1'-0"

00' 16' 32'

Snøhetta

ISSUED FOR

1	PHASE I DRAWING SET	6/29/2018

NOT FOR CONSTRUCTION

CLIENT:

Metro

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SEAL

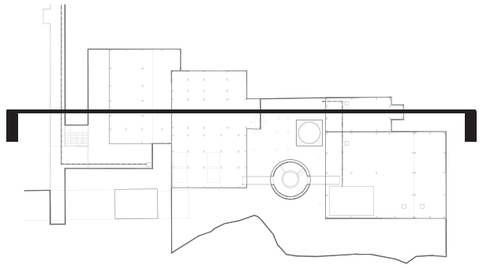
Willamette Falls
RIVERWALK PROJECT

PHASE 1
SECTION 1

DRAWN: EG CHECKED: MM
PLOT DATE: 6/29/2018

L- 201

DRAWING NO:



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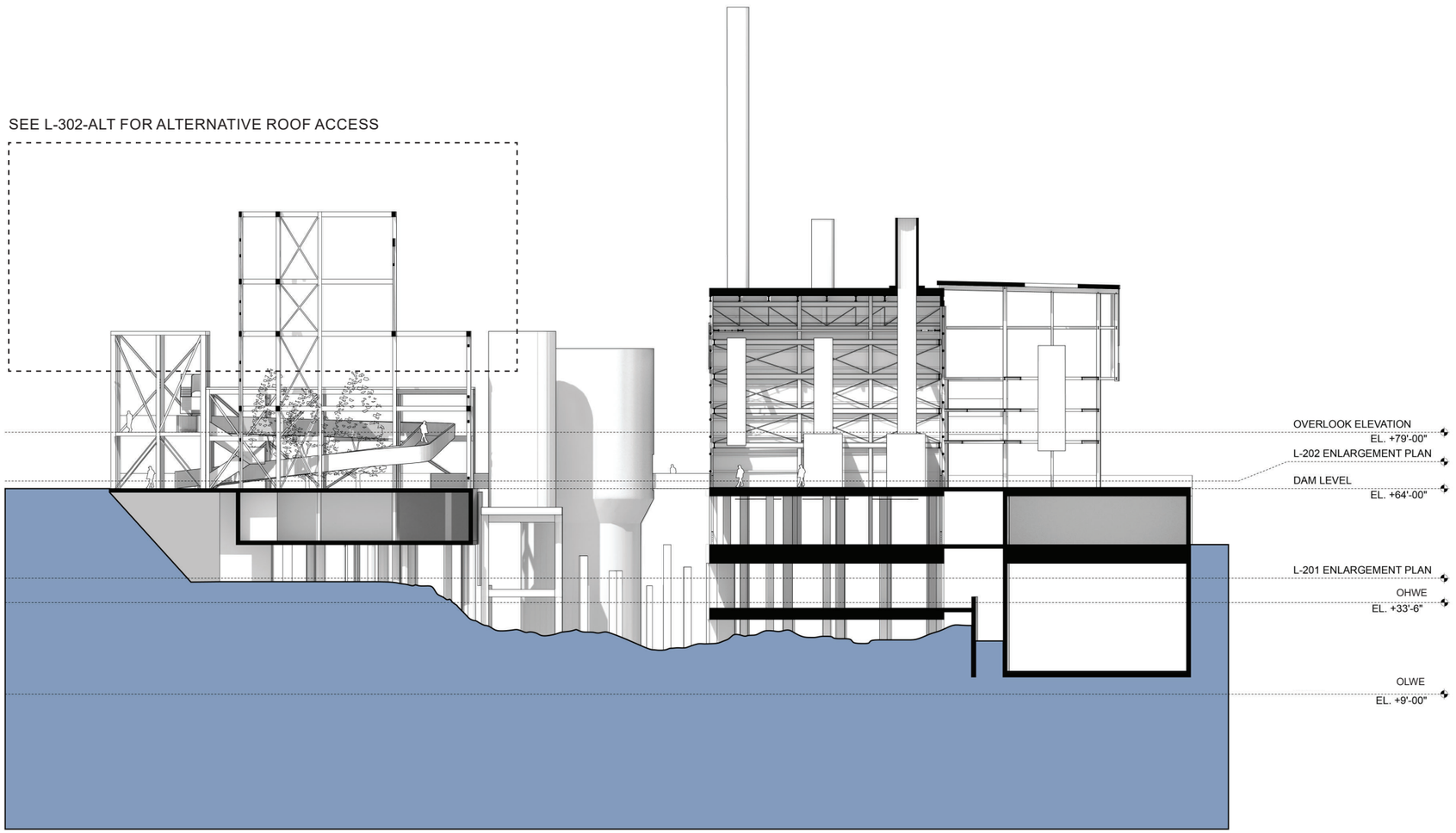
- KPFF STRUCTURAL COMMENT: YARD AREA – FILL BEHIND PIPECHASE SHOULD BE CONSIDERED FOR SEISMIC STABILIZATION. CONCERNS RELATE TO LATERAL LOADING ON PIPECHASE DURING A SEISMIC EVENT AND POTENTIAL SETTLING/LIQUIFICATION OF FILL MATERIALS.

SEE L-302-ALT FOR ALTERNATIVE ROOF ACCESS



1 PHASE I LONGITUDINAL SECTION LOOKING WEST

SCALE: 1/16" = 1'-0"

00' 16' 32'

Snøhetta

ISSUED FOR

1	PHASE I DRAWING SET	6/29/2018

NOT FOR CONSTRUCTION

CLIENT:

Metro

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SEAL

Willamette Falls
RIVERWALK PROJECT

PHASE 1
SECTION 2

DRAWN: EG
PLOT DATE: 6/29/2018

CHECKED: MM

L- 202

DRAWING NO:

SYMBOL LEGEND

- PROPERTY LINE
- PHASE 1 BOUNDARY
- INTERIM ACCESS AREA
- OHWE (ORDINARY HIGH WATER ELEV.)
- OLWE (ORDINARY LOW WATER ELEV.)*

*MAY OVERLAP WITH PROPERTY LINE

PROGRAM LEGEND

1 PUBLIC YARD
2 PIPE CHASE
3 RECOVERY BOILER BASE
4 RIPARIAN BASALT HABITAT RESTORATION
5 OFF-CHANNEL ALCOVE HABITAT RESTORATION
6 BRIGHTENING TOWER BASE
7 STOCK CYLINDER BASE
8 PGE DAM
9 INTERIM STAIR
10 WEIR STRUCTURE (TO BE REMOVED DOWN TO BASALT)

GENERAL NOTES:

- PHASE 1 DESIGN BASED ON SURVEY, HISTORIC DRAWINGS, AERIAL IMAGERY, SITE INVESTIGATIONS, KPFF STRUCTURAL REPORT, AND HYDROLOGIC MODELS.

- THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION.

- ALL DIMENSIONS AND DESIGN ELEMENTS TO BE FIELD VERIFIED.

- LOOSE DEBRIS TO BE REMOVED IN HABITAT AREA.

- KPFF STRUCTURAL COMMENT: YARD AREA – FILL BEHIND PIPECHASE SHOULD BE CONSIDERED FOR SEISMIC STABILIZATION. CONCERNS RELATE TO LATERAL LOADING ON PIPECHASE DURING A SEISMIC EVENT AND POTENTIAL SETTLING/LIQUIFICATION OF FILL MATERIALS.

1 PHASE 1 PLAN AT BASALT LEVEL - ELEV 40’-0”

SCALE: 1/16” = 1’-0”

00’ 16’ 32’

Snøhetta

ISSUED FOR

1	PHASE I DRAWING SET	6/29/2018

NOT FOR CONSTRUCTION

CLIENT:

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SEAL

Willamette Falls
RIVERWALK PROJECT

PHASE 1
BASALT LEVEL PLAN

DRAWN: EG CHECKED: MM
PLOT DATE: 6/29/2018

L- 300

DRAWING NO:

SYMBOL LEGEND

- PROPERTY BOUNDARY
- PHASE 1 BOUNDARY
- INTERIM ACCESS AREA
- GRATING
- OHWE (ORDINARY HIGH WATER ELEV.)
- OLWE (ORDINARY LOW WATER ELEV.)*

*MAY OVERLAP WITH PROPERTY LINE

PROGRAM LEGEND

1 PUBLIC YARD
2 PIPE CHASE
3 RECOVERY BOILER BASE
4 BOILER PLANT
5 HIGH DENSITY STOCK CYLINDER 2
6 BRIGHTENING TOWER (CONSIDER FOR SWIFT HABITAT)
7 MILL H TOWER
8 MILL H GROVE
9 PGE DAM
10 INTERIM ACCESS FROM STREET / YARD
11 TOUR STAGING AREA
12 EMERGENCY ACCESS LOCATION
13 STAIR TO OVERLOOK
14 EXPLORER TRAIL
15 MAINTENANCE STORAGE

GENERAL NOTES:

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1 PHASE 1 PLAN AT DAM LEVEL - ELEV 66’-0”

SCALE: 1/16” = 1’-0”

00’ 16’ 32’

Snøhetta

ISSUED FOR

1 PHASE I DRAWING SET 6/29/2018

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SEAL

Willamette Falls
RIVERWALK PROJECT

PHASE 1
DAM LEVEL PLAN

DRAWN: EG CHECKED: MM
PLOT DATE: 6/29/2018

L- 301

DRAWING NO:

SYMBOL LEGEND

- PROPERTY LINE
- PHASE 1 BOUNDARY
- INTERIM ACCESS AREA
- GRATING
- OHWE (ORDINARY HIGH WATER ELEV.)
- OLWE (ORDINARY LOW WATER ELEV.)*
- *MAY OVERLAP WITH PROPERTY LINE

PROGRAM LEGEND

1 PUBLIC YARD
2 PIPE CHASE
3 RECOVERY BOILER BASE
4 BOILER PLANT
5 HIGH DENSITY STOCK CYLINDER 2
6 BRIGHTENING TOWER (CONSIDER FOR SWIFT HABITAT)
7 MILL H TOWER
8 MILL H GROVE
9 PGE DAM
10 INTERIM ACCESS FROM STREET / YARD
11 TOUR STAGING AREA
12 EMERGENCY ACCESS LOCATION
13 STAIR TO OVERLOOK
14 EXPLORER TRAIL
15 MAINTENANCE STORAGE
16 UPPER OVERLOOK

GENERAL NOTES:

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1 PHASE 1 PLAN AT OVERLOOK - ELEV 81’-0”

SCALE: 1/16” = 1’-0”

00’ 16’ 32’

Snøhetta

ISSUED FOR

1 PHASE I DRAWING SET 6/29/2018

NOT FOR CONSTRUCTION

CLIENT:

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SEAL

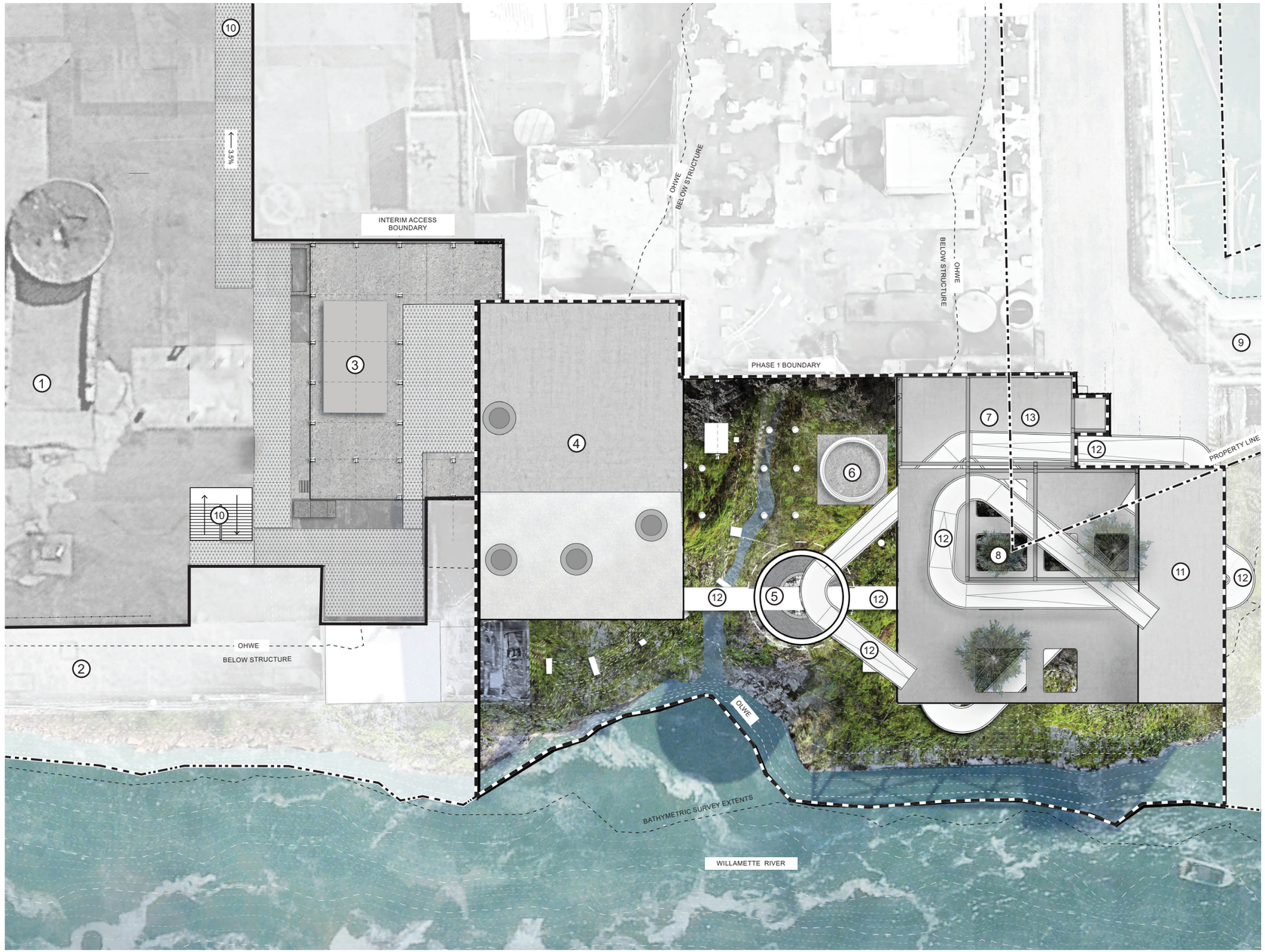
Willamette Falls
RIVERWALK PROJECT

PHASE 1
OVERLOOK LEVEL
PLAN

DRAWN: EG CHECKED: MM
PLOT DATE: 6/29/2018

L- 302

DRAWING NO:



SYMBOL LEGEND

- PROPERTY LINE
- PHASE 1 BOUNDARY
- INTERIM ACCESS AREA
- GRATING
- OHWE (ORDINARY HIGH WATER ELEV.)
- OLWE (ORDINARY LOW WATER ELEV.)*

*MAY OVERLAP WITH PROPERTY LINE

PROGRAM LEGEND

1 PUBLIC YARD
2 PIPE CHASE
3 RECOVERY BOILER BASE
4 BOILER PLANT (ROOF)
5 HIGH DENSITY STOCK CYLINDER 2
6 BRIGHTENING TOWER (CONSIDER FOR SWIFT HABITAT)
7 MILL H TOWER
8 MILL H GROVE (BELOW)
9 PGE DAM
10 INTERIM ACCESS FROM STREET / YARD
11 UPPERMOST OVERLOOK PLATFORM
12 EXPLORER TRAIL
13 POTENTIAL PLAY ELEMENT

GENERAL NOTES:

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1 PHASE 1 PLAN AT OVERLOOK - ELEV 81’-0”

SCALE: 1/16” = 1’-0”

00’ 16’ 32’

Snøhetta

ISSUED FOR

1 PHASE I DRAWING SET 6/29/2018

NOT FOR CONSTRUCTION

CLIENT:

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SEAL

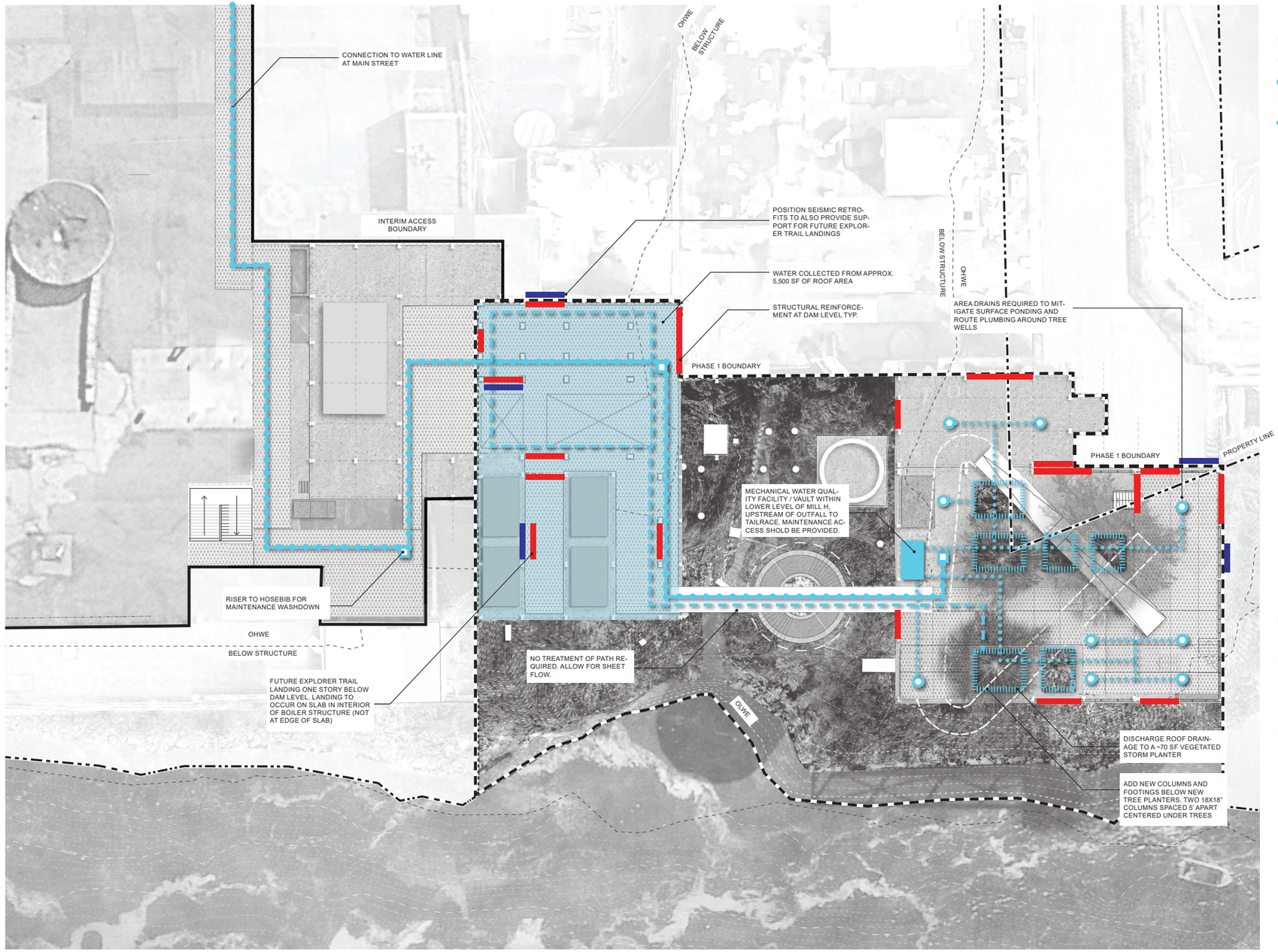
Willamette Falls
RIVERWALK PROJECT

PHASE 1
OVERLOOK LEVEL
PLAN- ALTERNATE

DRAWN: EG CHECKED: MM
PLOT DATE: 6/29/2018

L- 302-ALT

DRAWING NO:



1 PHASE 1- STRUCTURAL + UTILITIES PLAN

SCALE: 1/16" = 1'-0"

SYMBOL LEGEND

- PROPERTY LINE
- PHASE 1 BOUNDARY
- INTERIM ACCESS AREA
- PROPOSED WATER LINE
- OVERHEAD ROOF DRAINPIPE
- AREA DRAIN PLUMBING
- HOSE BIB
- AREA DRAIN
- MECHANICAL WATER QUALITY FACILITY
- DRAINAGE PLANTER
- WATER COLLECTION AREA
- FUTURE EXPLORER TRAIL LANDING
- SEISMIC /STUCTURAL REINFORCEMENT (CONCRETE SHEAR WALL / X-BRACING)
- OHWE (ORDINARY HIGH WATER ELEV.)
- OLWE (ORDINARY LOW WATER ELEV.)*

*MAY OVERLAP WITH PROPERTY LINE

NOTES:

- KPFF STRUCTURAL COMMENT: GENERAL – PROPOSED PHASE I DESIGN BASED UPON FINDINGS OF KPFF STRUCTURAL EVALUATION REPORT. PLANS AND SECTIONS BASED UPON SITE SURVEY INFORMATION INCLUDED WITHIN KPFF STRUCTURAL EVALUATION REPORT AND METRO SITE SURVEY. ALL EXISTING AND PROPOSED ELEMENTS ARE CONCEPTUAL IN THEIR LEVEL OF REFINEMENT, AND REQUIRE VERIFICATION IN FIELD.

- KPFF STRUCTURAL COMMENT: YARD AREA – FILL BEHIND PIPECHASE SHOULD BE CONSIDERED FOR SEISMIC STABILIZATION. CONCERNS RELATE TO LATERAL LOADING ON PIPECHASE DURING A SEISMIC EVENT AND POTENTIAL SETTLING/LIQUIFICATION OF FILL MATERIALS.

- KPFF STRUCTURAL COMMENT: STOCK CYLINDER #2 – THE PROPOSED OPENINGS AND EXPLORER TRAIL STRUCTURES ASSOCIATED WITH STOCK CYLINDER #2 ARE FEASIBLE. FUTURE WORK TO REFINE STRUCTURAL ANALYSIS OF OPENINGS, LOADS, AND CONNECTIONS BETWEEN EXISTING AND PROPOSED STRUCTURES TO DETERMINE NECESSARY UPGRADES.

- KPFF STRUCTURAL COMMENT: MILL H GROVE STRUCTURE – WITH STEEL PLATE REINFORCEMENTS AND SELECTIVE REPLACEMENT OF EXISTING STEEL COLUMNS AND BEAMS, THE MILL H GROVE STRUCTURE MAY SUPPORT THE PROPOSED EXPLORER TRAIL TO THE MID-LEVEL OVERLOOK. IN ADDITION, REINFORCEMENTS TO THE STEEL MEMBERS OF THE ROOF STRUCTURE MAY ALLOW THE EXPLORER TRAIL TO BE SUSPENDED.

- KPFF STRUCTURAL- NEW CONCRETE SHEAR WALL TO BE 12-18" THICK. NEW STEEL X-BRACING TO BE 8X8".

-KPFF CIVIL- EXISTING WATER MAINS THAT ARE CURRENTLY ABANDONED SOUTH OF THE DOUBLE CHECK IN MILL H ARE NOT IN AN ACCEPTABLE CONDITION FOR REUSE.

-KPFF CIVIL- REUSE OF EXISTING IMPERVIOUS AREAS OR BUILDING PADS AFTER DEMOLITION OF STRUCTURES WILL NOT TRIGGER STORMWATER REQUIREMENTS. HOWEVER, TARGET WATER QUALITY TREATEMENT, OR AT A MINUMUM IMPLEMENT MEASURES TO CAPTURE SEDIMENT AND DEBRIS PRIOR TO DISCHARGE TAILRACE ARE RECOMMENDED.

- A TOPPING SLAB SHOULD BE AVOIDED TO CONTROL DRAINAGE. IN ORDER TO PRESERVE AS MUCH OF THE ORIGINAL CHARACTER OF THE SITE, MOVE WATER THROUGH THE FOLLOWING SUBTRACTIVE METHODS AS AN ALTERNATIVE: CORING, GRINDING, CHANNELING, WEEPHOLES, GROOVES, ETC.

00' 16' 32'

GENERAL NOTES:

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Snøhetta

ISSUED FOR

1	PHASE I DRAWING SET	6/29/2018

NOT FOR CONSTRUCTION

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SEAL

Willamette Falls
RIVERWALK PROJECT

PHASE 1
STRUCTURAL +
UTILITIES PLAN

DRAWN: EG CHECKED: MM
PLOT DATE: 6/29/2018

L- 303

DRAWING NO:

LIGHTING NOTES

1 TEMPORARY PARKING LIGHTING

CENTRAL MAST LIGHTING:
USING ONE, AND UP TO THREE, CENTRALLY PLACED LIGHTING MASTS APPROX.40'-45', WITH MULTIPLE HEADS, PROVIDE BLANKET COVERAGE OF ENTIRE PARKING AREA FROM ONE LOCATION.

PROS: CENTRALIZED ELECTRICAL SUPPLY; MINIMAL IMPACT TO OVERALL SITE.

CONS: REQUIRE SUBSTANTIAL FOOTINGS; PERIMETER ILLUMINATION FALL OFF, GENERALLY NOT DARK SKY COMPLIANT (LONG TERM REQUIREMENT).

2 TEMPORARY MAIN STREET LIGHTING

TEMPORARY PATHWAY LIGHTING:
EMBRACING THE UNFINISHED QUALITY OF THE SITE, AS WELL AS CONSTRUCTION THAT WILL HAPPEN OVER TIME, THE USE OF CAGED CONSTRUCTION STRING LIGHTS MOUNTED TO FENCING WILL LIGHT BOTH EDGES OF MAIN STREET. PROVIDING SAFETY AND SECURITY LIGHTING, THESE FIXTURES CAN BE MOVED, AND REPOSITIONED, AS NEEDED THROUGHOUT DEVELOPMENT.

OPTION: PAINT WIRE PROTECTIVE "CAGE" A SIGNATURE COLOR TO EMPHASIZE WAYFINDING.

3 CARPENTRY SHOP

LIGHTING OF CARPENTRY SHOP SHOULD HIGHLIGHT IMPROVEMENTS AS PART OF THE DESIGN-TEAM EFFORT

4 OPEN YARD LIGHTING

USING THE CATWALK AS A STRUCTURAL SKELETON, POST MOUNTED AREA LIGHTING AFFIXED TO THE SCAFFOLDING WILL GIVE MOST OF THE OPEN YARD AREA LEVELS OF ILLUMINATION REQUIRED TO MEET EMERGENCY CODES. CAGED CONSTRUCTION STRING LIGHT WILL PROVIDE AN EDGE CONDITION FOR THE FAR SIDE OF THE YARD.

PLATFORM LIGHTING:
USING SIMILAR TECHNIQUE, THE CATWALK BECOMES THE FOUNDATION FOR HIGH-LEVEL LIGHTING TO FILL THE PLATFORM SURFACE.

5 HABITAT EDGE

IN ORDER TO MINIMIZE IMPACT TO NATIVE SPECIES LIVING IN THE SURROUNDING HABITAT, AND LIGHT USED TO MARK THIS EDGE MUST BE WITHIN THE SPECTRUM THAT IS SENSITIVE TO NOCTURNAL CREATURES (TYPICALLY AMBER).

6 CATWALK LIGHTING

ALTHOUGH CONSIDERED "TEMPORARY", THE CATWALK WILL BE ILLUMINATED IN SIMILAR FASHION TO ALL PHASE I PATHWAYS. THE ACTUAL PATH ALONG THE CATWALK WILL BE CONSIDERED A "QUIET LIGHTING" ZONE AND HAVE LOW LEVEL LIGHTING ILLUMINATING THE GROUND PLANE, WITHOUT INTERRUPTING THE VIEWS OUT AND ACROSS THE SITE AND RIVER. STRUCTURE OF THE CATWALK WILL OFFER A CONDUIT FOR SITE POWER TO RUN, AS WELL AS STRUCTURE FOR HIGHER LEVELS OF LIGHTING NEEDED FOR GENERAL LIGHTING OF THE YARD.

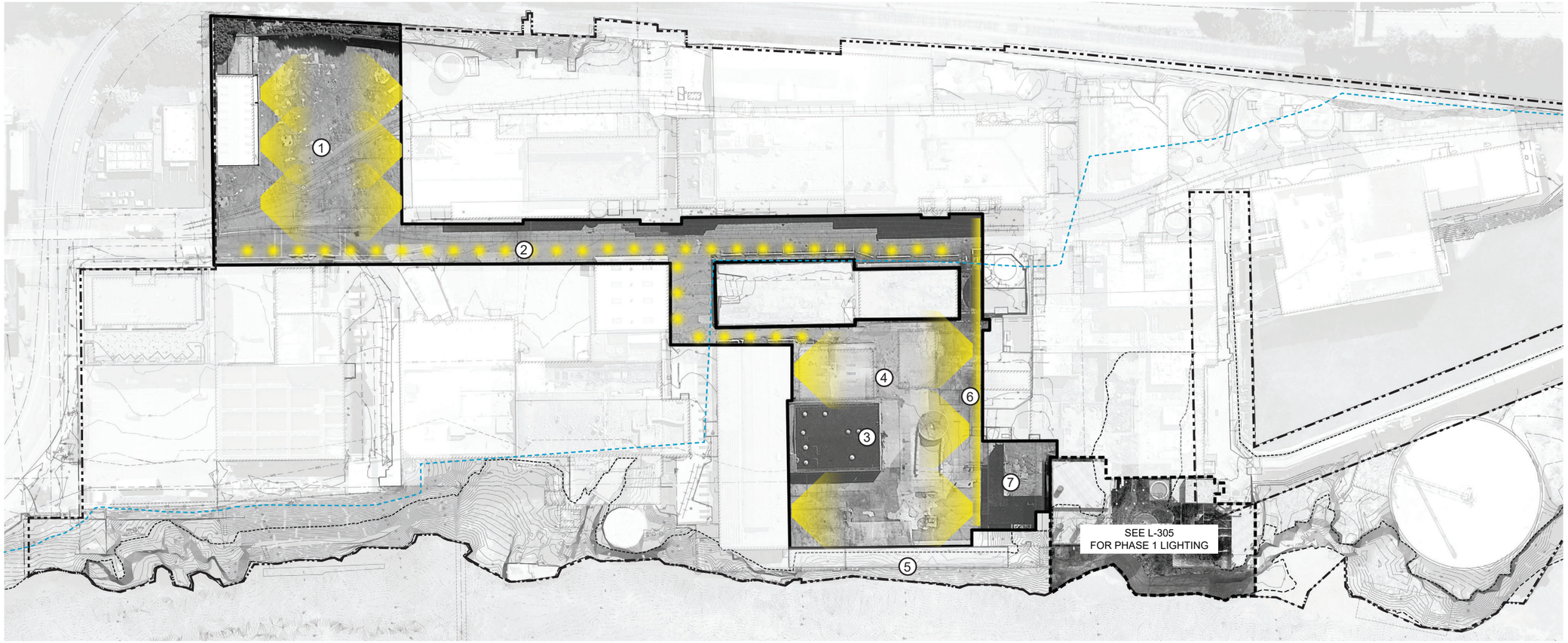
7 PLATFORM LIGHTING

THE RECOVERY BOILER BASE, BEING A TEMPORARY ELEMENT OF PHASE 1, SHOULD BE LIT TO FEATURE THE EXISTING EQUIPMENT WITHIN. SAFETY LIGHTING IS ALSO A PRIORITY. SEE L-306

SYMBOL LEGEND

- PROPERTY LINE
- PHASE 1 BOUNDARY
- INTERIM ACCESS AREA
- 1996 FLOOD LINE
- OHWE (ORDINARY HIGH WATER ELEV.)
- OLWE (ORDINARY LOW WATER ELEV.)*

*MAY OVERLAP WITH PROPERTY LINE



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OREGON CITY LIGHTING REQUIREMENTS:

- REFER TO CHAPTER 17.62.065 IN OREGON CITY CODE OF ORDINANCES DATED APRIL 17, 2018.

- OUTDOOR LIGHTING, IF PROVIDED, SHALL BE PROVIDED IN A MANNER THAT ENHANCES SECURITY, IS APPROPRIATE FOR THE USE, AVOIDS ADVERSE IMPACTS ON SURROUNDING PROPERTIES, AND THE NIGHT SKY THROUGH APPROPRIATE SHIELDING AS DEFINED IN THIS SECTION. GLARE SHALL NOT CAUSE ILLUMINATION ON OTHER PROPERTIES IN EXCESS OF A MEASUREMENT OF 0.5 FOOTCANDLES OF LIGHT AS MEASURED AT THE PROPERTY LINE. IN NO CASE SHALL EXTERIOR LIGHTING ADD MORE THAN 0.5 FOOTCANDLE TO ILLUMINATION LEVELS AT ANY POINT OFF-SITE. EXTERIOR LIGHTING IS NOT REQUIRED EXCEPT FOR PURPOSES OF PUBLIC SAFETY. HOWEVER, IF INSTALLED, ALL EXTERIOR LIGHTING SHALL MEET THE FOLLOWING DESIGN STANDARDS:
- ANY LIGHT SOURCE OR LAMP THAT EMITS MORE THAN NINE HUNDRED LUMENS (THIRTEEN WATT COMPACT FLUORESCENT OR SIXTY WATT INCANDESCENT) SHALL BE CONCEALED OR SHIELDED WITH A FULL CUT-OFF STYLE FIXTURE IN ORDER TO MINIMIZE THE POTENTIAL FOR GLARE AND UNNECESSARY DIFFUSION ON ADJACENT PROPERTY. ALL FIXTURES SHALL UTILIZE ONE OF THE FOLLOWING BULB TYPES: METAL HALIDE, INDUCTION LAMP, COMPACT FLUORESCENT, INCANDESCENT (INCLUDING TUNGSTEN-HALOGEN), OR HIGH PRESSURE SODIUM WITH A COLOR RENDERING INDEX ABOVE SEVENTY.

- THE MAXIMUM HEIGHT OF ANY LIGHTING POLE SERVING A MULTI-FAMILY RESIDENTIAL USE SHALL BE TWENTY FEET. THE MAXIMUM HEIGHT SERVING ANY OTHER TYPE OF USE SHALL BE TWENTY-FIVE FEET, EXCEPT IN PARKING LOTS LARGER THAN FIVE ACRES, THE MAXIMUM HEIGHT SHALL BE THIRTY-FIVE FEET IF THE POLE IS LOCATED AT LEAST ONE HUNDRED FEET FROM ANY RESIDENTIAL USE.

- REFER TO TABLE 1-17.62.065 FOR REQUIRED FOOTCANDLE LEVELS

- PARKING LOTS AND OTHER BACKGROUND SPACES SHALL BE ILLUMINATED AS UNOBTRUSIVELY AS POSSIBLE WHILE MEETING THE FUNCTIONAL NEEDS OF SAFE CIRCULATION AND PROTECTION OF PEOPLE AND PROPERTY. FOREGROUND SPACES, SUCH AS BUILDING ENTRANCES AND OUTSIDE SEATING AREAS, SHALL UTILIZE PEDESTRIAN SCALE LIGHTING THAT DEFINES THE SPACE WITHOUT GLARE.

- ANY ON-SITE PEDESTRIAN CIRCULATION SYSTEM SHALL BE LIGHTED TO ENHANCE PEDESTRIAN SAFETY AND ALLOW EMPLOYEES, RESIDENTS, CUSTOMERS OR THE PUBLIC TO USE THE WALKWAYS AT NIGHT. PEDESTRIAN WALKWAY LIGHTING THROUGH PARKING LOTS SHALL BE LIGHTED TO LIGHT THE WALKWAY AND ENHANCE PEDESTRIAN SAFETY PURSUANT TO TABLE 1.

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- LIGHTING ON AUTOMOBILE SERVICE STATION, CONVENIENCE STORE, AND OTHER OUTDOOR CANOPIES SHALL BE FULLY RECESSED INTO THE CANOPY AND SHALL NOT PROTRUDE DOWNWARD BEYOND THE CEILING OF THE CANOPY.

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- FOR UPWARD-DIRECTED ARCHITECTURAL, LANDSCAPE, AND DECORATIVE LIGHTING, DIRECT LIGHT EMISSIONS SHALL NOT BE VISIBLE ABOVE THE BUILDING ROOFLINE.
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1 PHASE 1 INTERIM CONDITION LIGHTING DIAGRAM

SCALE: 1" = 60'-0"

00' 100' 200'

Snøhetta

ISSUED FOR

1	PHASE I DRAWING SET	6/29/2018

NOT FOR CONSTRUCTION

CLIENT:

Metro

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SEAL

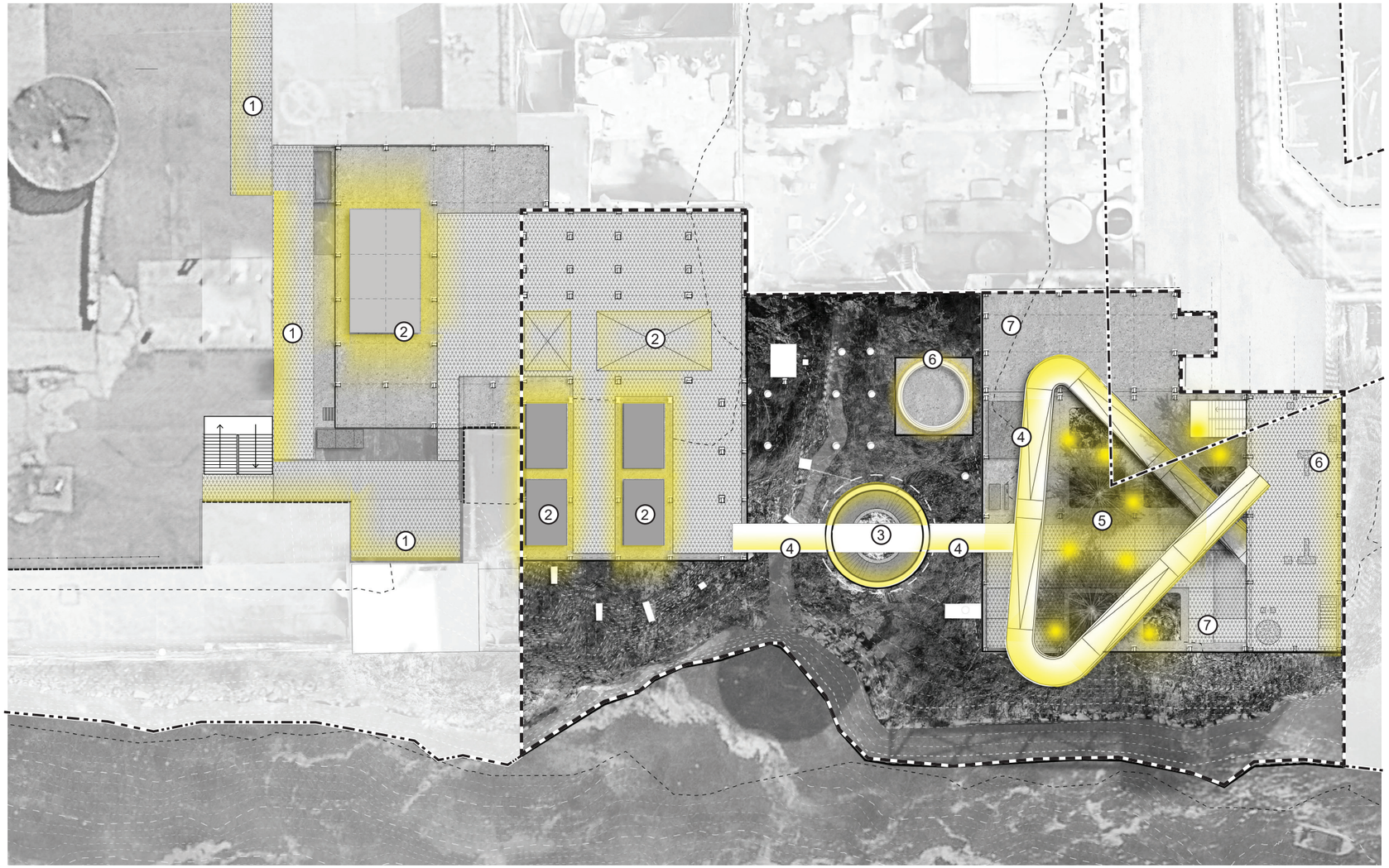
Willamette Falls
RIVERWALK PROJECT

PHASE 1 INTERIM LIGHTING PLAN

DRAWN: EG CHECKED: MM
PLOT DATE: 6/29/2018

L- 304

DRAWING NO:



SYMBOL LEGEND

- PROPERTY LINE
- PHASE 1 BOUNDARY
- INTERIM ACCESS AREA
- OHWE (ORDINARY HIGH WATER ELEV.)
- OLWE (ORDINARY LOW WATER ELEV.)*

*MAY OVERLAP WITH PROPERTY LINE

LIGHTING NOTES

1. TEMPORARY CATWALK AND STAIR LIGHTING
   - SEE #6 L - 304
2. BOILER AND RECOVERY BOILER LIGHTING
   A LARGE OPEN SPACE THAT OPENS UP TO ASSERTIVE LIGHTING, WHETHER AN ART EXHIBITION, INSTALLATION, OR FREEDOM TO SIMPLY WANDER THROUGH THE VAST SPACE AND MARVEL AT THE REMNANTS OF AN ERA GONE BY.
3. STOCK CYLINDER LIGHTING
   THE NEXT OF THE JOURNEY IS COMPRESSED AND VERTICAL, WHERE THE BOILER ROOM WAS VAST AND WIDE. A QUIETLY LIT PATHWAY BRIDGE TAKES YOU THROUGH THE CENTER WHERE ABOVE AND BELOW VOIDS ARE ILLUMINATED.

   OPTION: IMAGE PROJECTION ON CYLINDER WALLS.
4. PATHWAY LIGHTING
   QUIET CIRCULATION PATHWAYS ALLOW VISITORS TO BE ABSORBED BY THE SURROUNDINGS. LOW LEVEL LIGHTING GUIDES VISITORS INTO, THROUGH, AND OUT OF VARIOUS STRUCTURAL ELEMENTS. THE UNIFIED LIGHTING HELPS PROMOTE SUBLIMINAL WAYFINDING
5. GROVE LIGHTING
   USING LIGHTING FROM ABOVE AND/OR BELOW TO CREATE A FOCAL POINT FOR THE EYE TO REST UPON.
6. HABITAT EDGE
   CRITICAL POINT WHERE LIGHTING MUST BE MINIMALIZED TO ONLY WHAT IS NECESSARY FOR SAFETY AND SECURITY. VITAL TO BOTH VIEWS AND INTERACTION WITH NOCTURNAL SPECIES IN SURROUNDING HABITAT.
7. MILL H
   A QUIET PERIMETER ALLOWS CIRCULATION AND CONTEMPLATION LOOKING WITH AND WITHOUT. AN ASSERTIVE CENTRAL ZONE CREATES FOCUS ON THE TREE GROVE AND RAMP TO UPPER LEVELS.

GENERAL NOTES:

- PHASE 1 DESIGN BASED ON SURVEY, HISTORIC DRAWINGS, AERIAL IMAGERY, SITE INVESTIGATIONS, KPFF STRUCTURAL REPORT, AND HYDROLOGIC MODELS.

- THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION.

- ALL DIMENSIONS AND DESIGN ELEMENTS TO BE FIELD VERIFIED.

OREGON CITY LIGHTING REQUIREMENTS:

- REFER TO CHAPTER 17.62.065 IN OREGON CITY CODE OF ORDINANCES DATED APRIL 17, 2018.

- OUTDOOR LIGHTING, IF PROVIDED, SHALL BE PROVIDED IN A MANNER THAT ENHANCES SECURITY, IS APPROPRIATE FOR THE USE, AVOIDS ADVERSE IMPACTS ON SURROUNDING PROPERTIES, AND THE NIGHT SKY THROUGH APPROPRIATE SHIELDING AS DEFINED IN THIS SECTION. GLARE SHALL NOT CAUSE ILLUMINATION ON OTHER PROPERTIES IN EXCESS OF A MEASUREMENT OF 0.5 FOOTCANDLES OF LIGHT AS MEASURED AT THE PROPERTY LINE. IN NO CASE SHALL EXTERIOR LIGHTING ADD MORE THAN 0.5 FOOTCANDLE TO ILLUMINATION LEVELS AT ANY POINT OFF-SITE. EXTERIOR LIGHTING IS NOT REQUIRED EXCEPT FOR PURPOSES OF PUBLIC SAFETY. HOWEVER, IF INSTALLED, ALL EXTERIOR LIGHTING SHALL MEET THE FOLLOWING DESIGN STANDARDS:
- ANY LIGHT SOURCE OR LAMP THAT EMITS MORE THAN NINE HUNDRED LUMENS (THIRTEEN WATT COMPACT FLUORESCENT OR SIXTY WATT INCANDESCENT) SHALL BE CONCEALED OR SHIELDED WITH A FULL CUT-OFF STYLE FIXTURE IN ORDER TO MINIMIZE THE POTENTIAL FOR GLARE AND UNNECESSARY DIFFUSION ON ADJACENT PROPERTY. ALL FIXTURES SHALL UTILIZE ONE OF THE FOLLOWING BULB TYPES: METAL HALIDE, INDUCTION LAMP, COMPACT FLUORESCENT, INCANDESCENT (INCLUDING TUNGSTEN-HALOGEN), OR HIGH PRESSURE SODIUM WITH A COLOR RENDERING INDEX ABOVE SEVENTY.

- THE MAXIMUM HEIGHT OF ANY LIGHTING POLE SERVING A MULTI-FAMILY RESIDENTIAL USE SHALL BE TWENTY FEET. THE MAXIMUM HEIGHT SERVING ANY OTHER TYPE OF USE SHALL BE TWENTY-FIVE FEET, EXCEPT IN PARKING LOTS LARGER THAN FIVE ACRES, THE MAXIMUM HEIGHT SHALL BE THIRTY-FIVE FEET IF THE POLE IS LOCATED AT LEAST ONE HUNDRED FEET FROM ANY RESIDENTIAL USE.

- REFER TO TABLE 1-17.62.065 FOR REQUIRED FOOTCANDLE LEVELS

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1 PHASE 1 LIGHTING DIAGRAM AT DAM LEVEL

SCALE: 1/16" = 1'-0"

00' 16' 32'

Snøhetta

ISSUED FOR

1	PHASE I DRAWING SET	6/29/2018

NOT FOR CONSTRUCTION

CLIENT:

Metro

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SEAL

Willamette Falls
RIVERWALK PROJECT

PHASE 1
LIGHTING PLAN

DRAWN: EG CHECKED: MM
PLOT DATE: 6/29/2018

L- 305

DRAWING NO: